

DISTRICT OF COLUMBIA
PUBLIC SCHOOLS

Roosevelt High School Modernization

ANC MEETING, JULY 2014

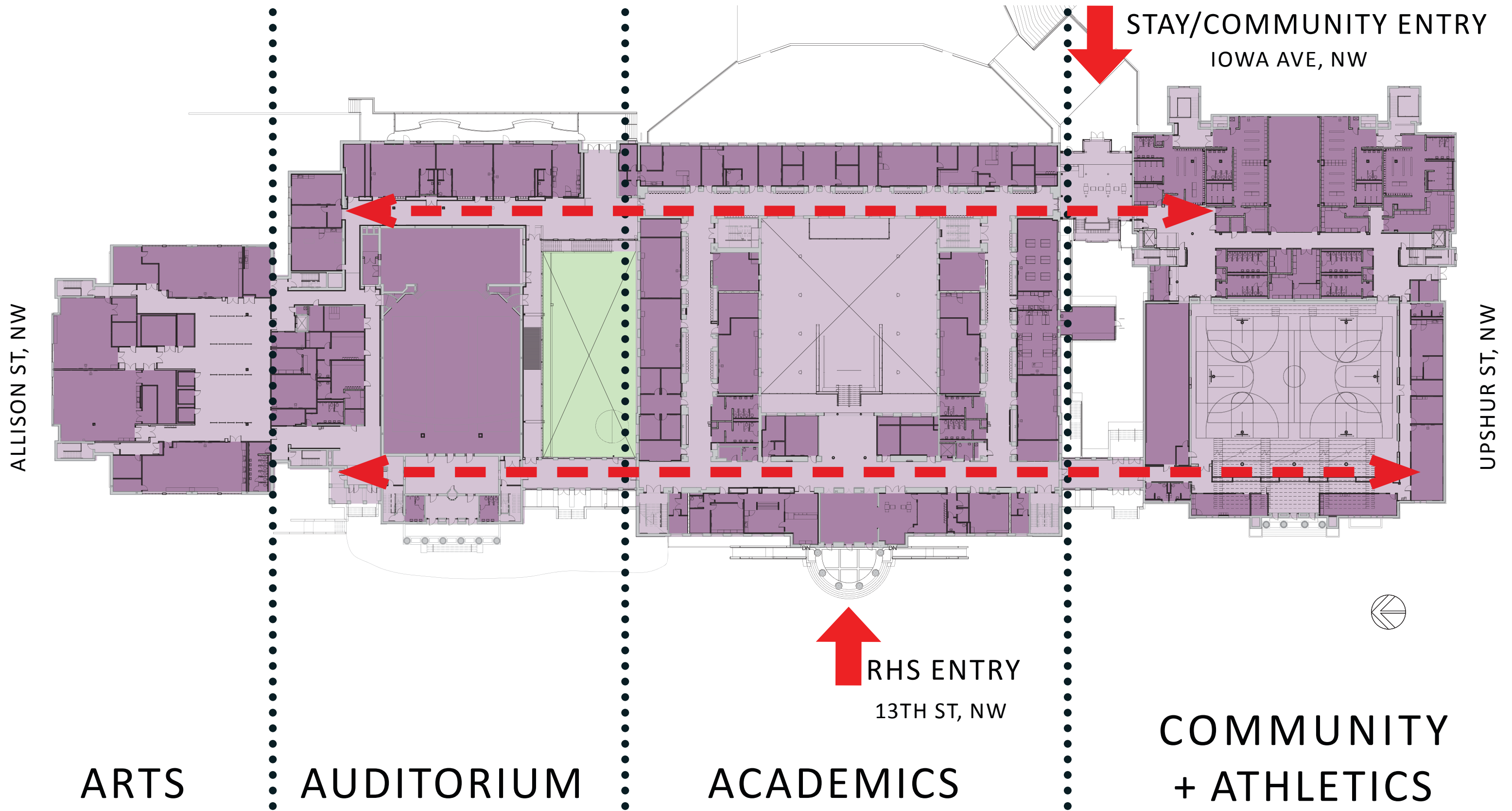
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PROJECT SCHEDULE

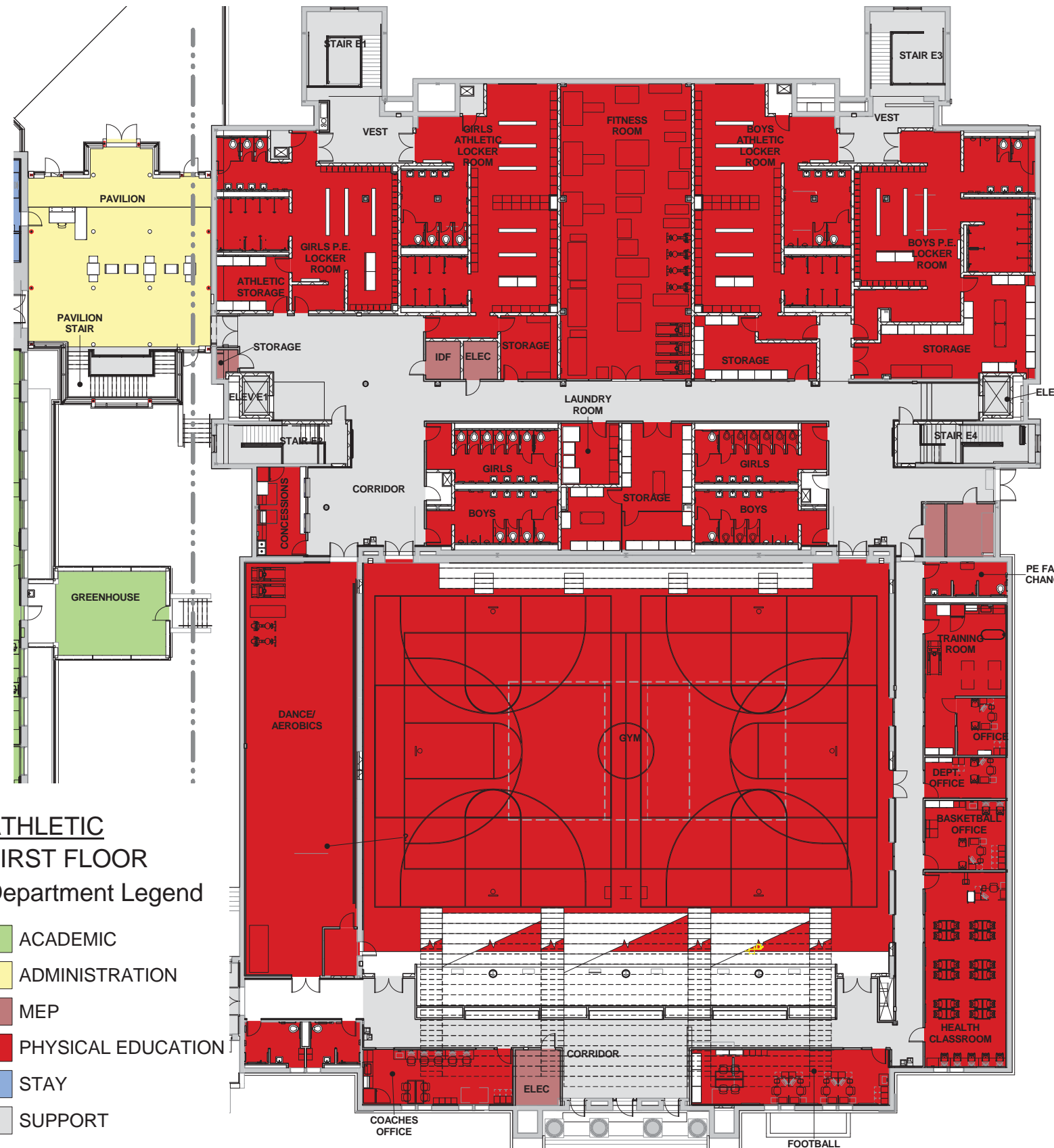
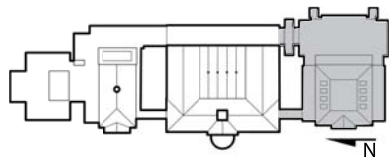
MILESTONE ACTIVITIES

- SMOOT GILBANE CONTRACT AWARD FALL 2013
- DEMOLITION WORK FALL 2013 TO SUMMER 2014
- GMP APPROVAL SUMMER 2014
- MEP ROUGH-IN FALL 2014 TO SPRING 2015
- EXTERIOR BUILDING RESTORATION SPRING 2014 TO SPRING 2015
- ATRIUM SKYLIGHT WINTER 2014 TO SPRING 2015
- INTERIOR FINISHES FALL 2014 TO FALL 2015
- EXTERIOR SITE IMPROVEMENTS SPRING 2014 TO FALL 2015
- CONSTRUCTION COMPLETION FALL 2015



BUILDING ORGANIZATION

ATHLETIC- FIRST FLOOR

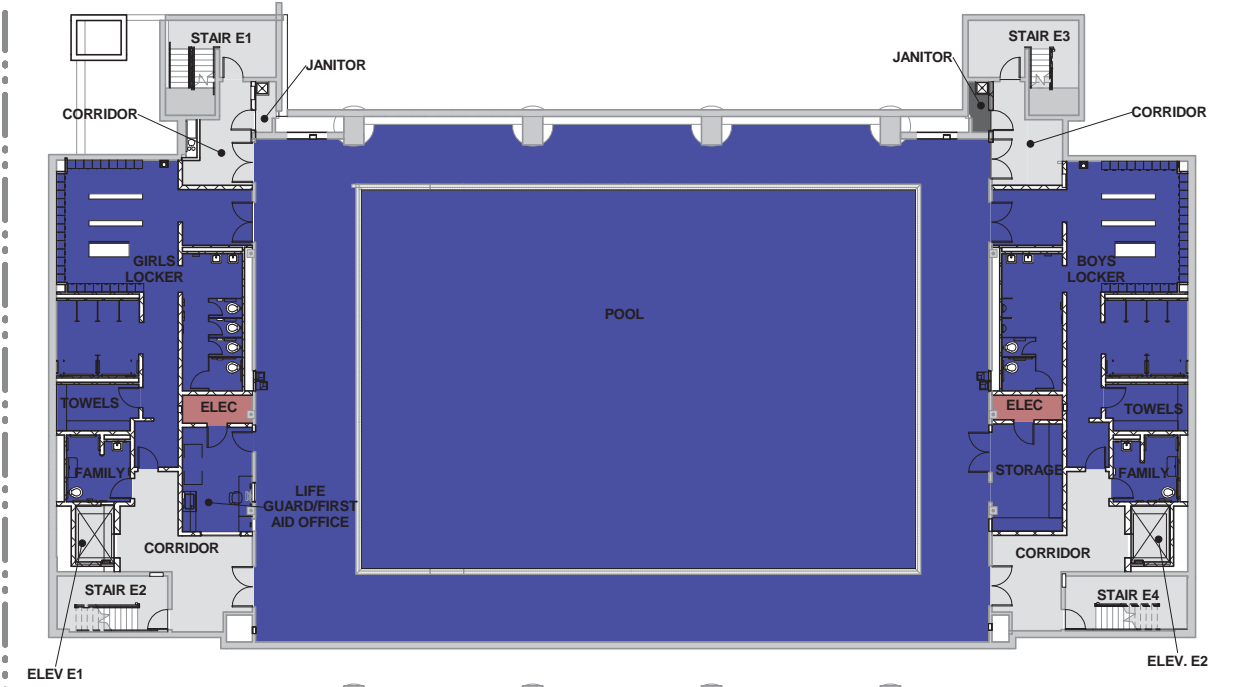
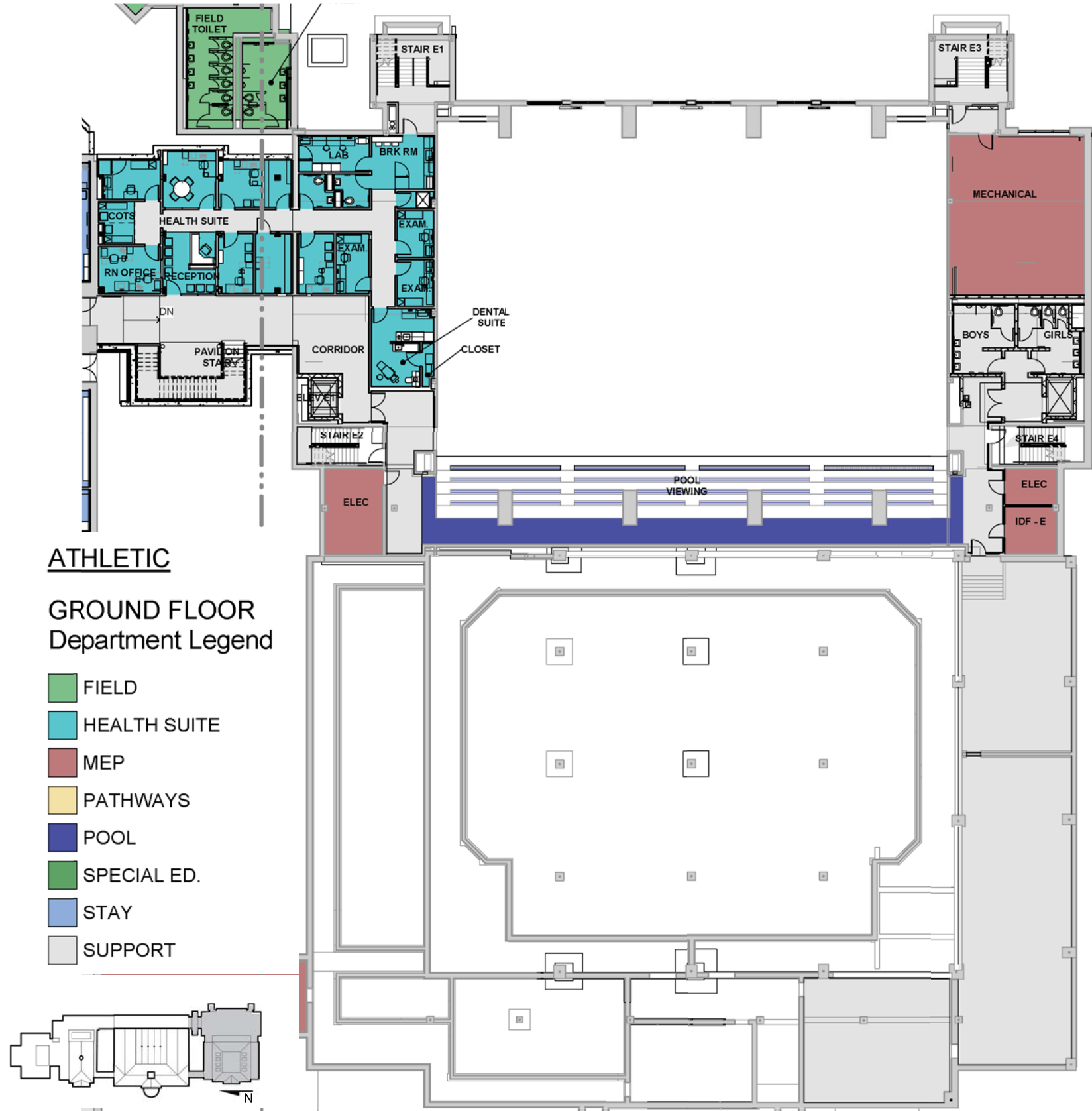


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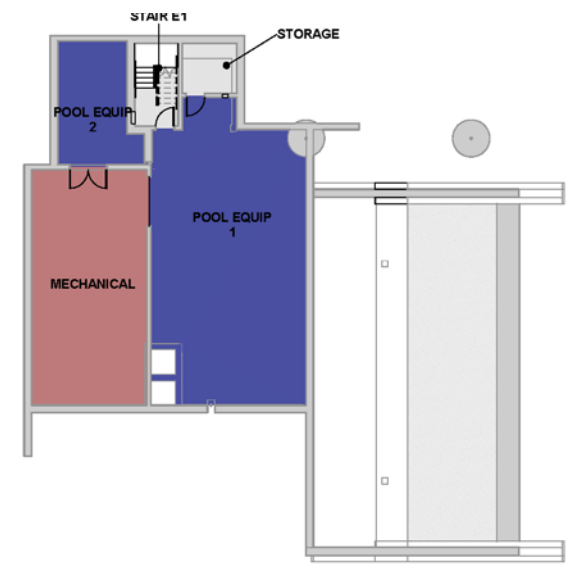
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ATHLETIC- GROUND FLOOR



POOL LEVEL

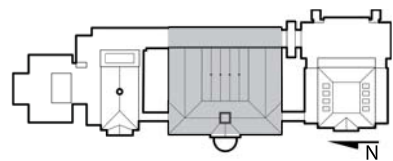
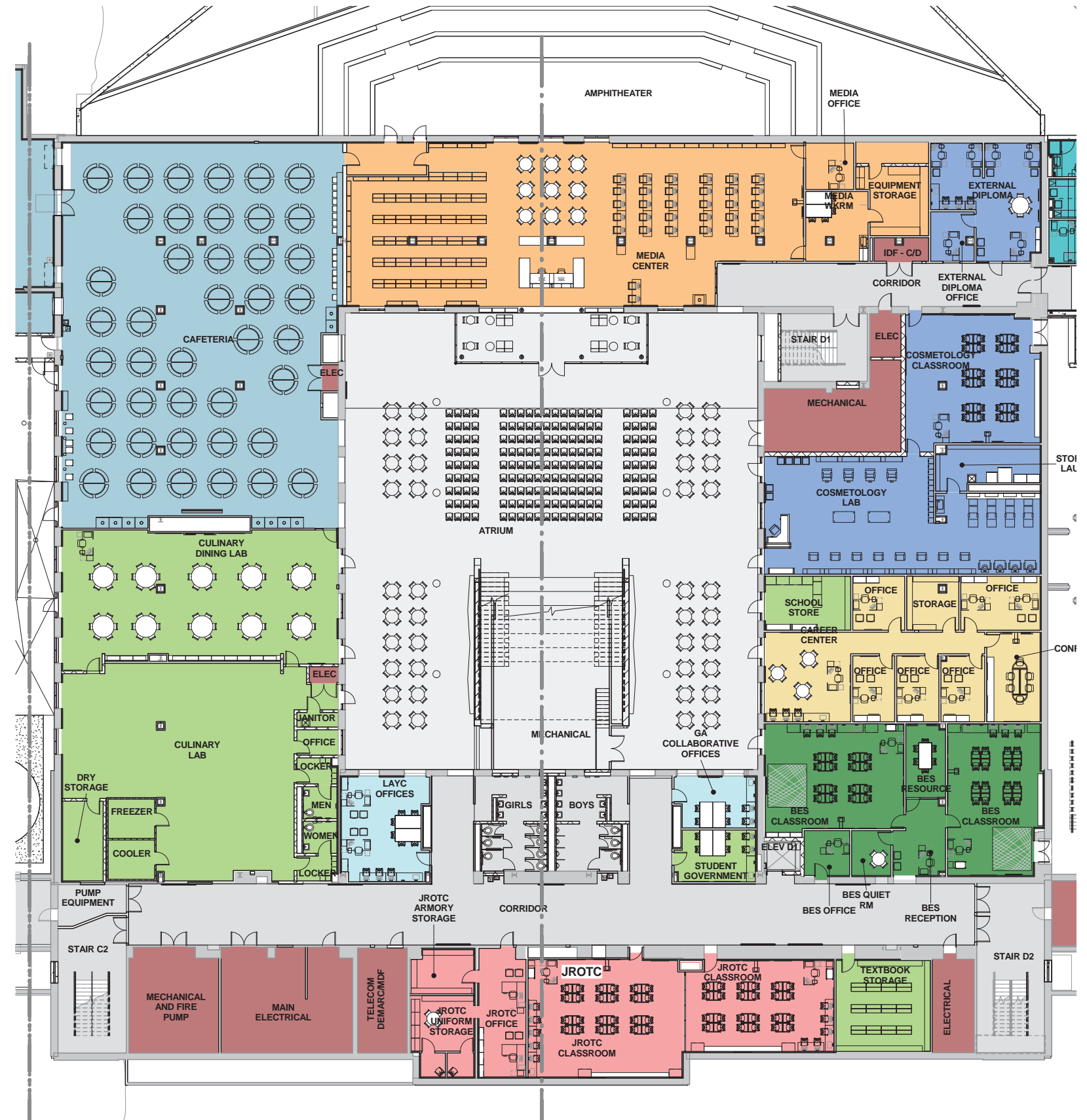


POOL MECHANICAL LEVEL

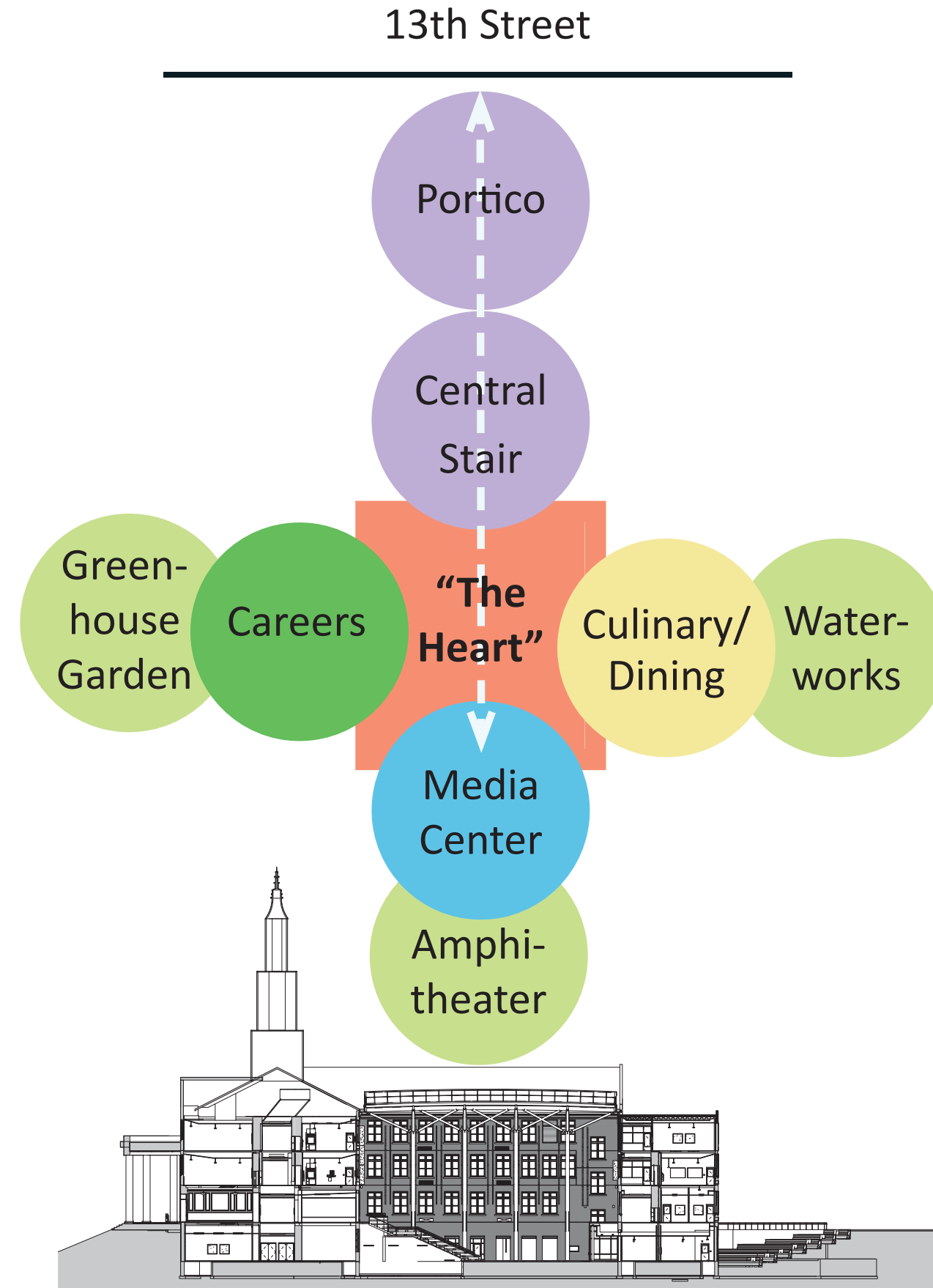
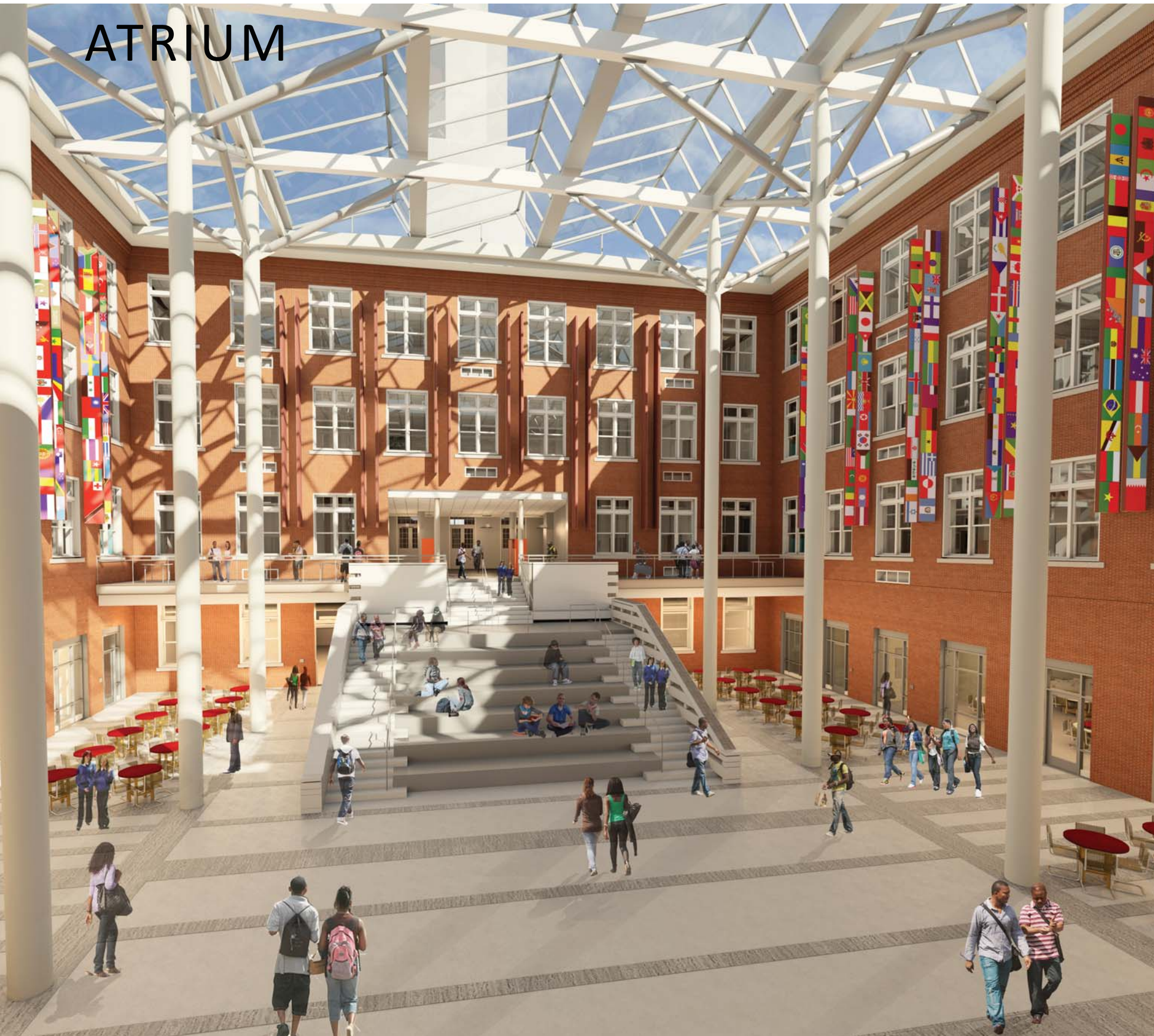
ACADEMIC - GROUND FLOOR

ACADEMIC GROUND FLOOR Department Legend

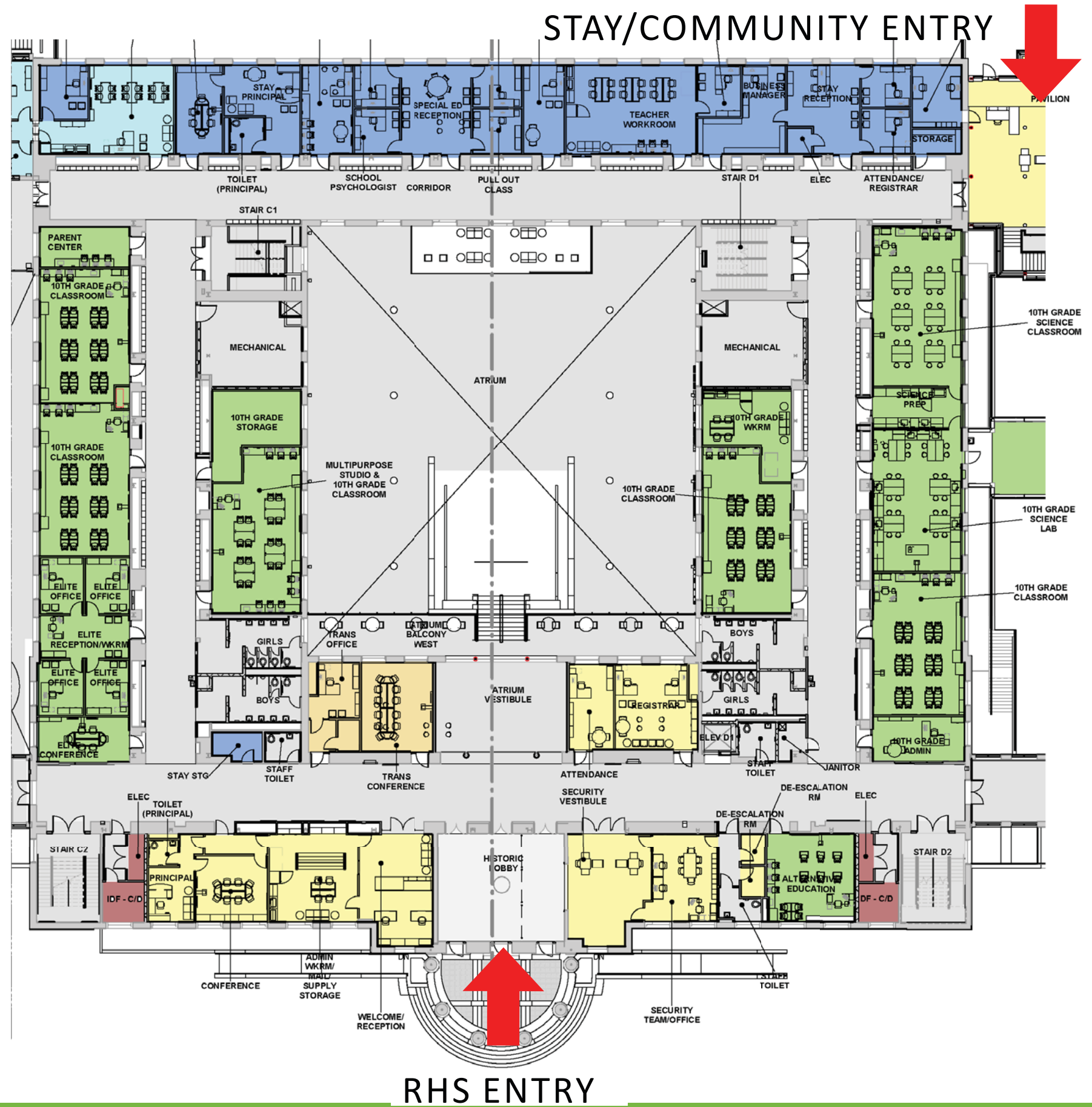
- ACADEMIC
- FAMILY SUPPORT
- FIELD
- FOOD SERVICE
- HEALTH SUITE
- JROTC
- MEDIA CENTER
- MEP
- PATHWAYS
- SPECIAL ED.
- STAY
- SUPPORT



ATRIUM

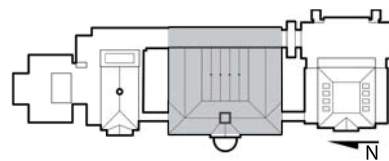


ACADEMIC - FIRST FLOOR



**ACADEMIC
FIRST FLOOR
Department Legend**

- ACADEMIC
- ADMINISTRATION
- FAMILY SUPPORT
- MEP
- PATHWAYS
- SPECIAL ED.
- STAY
- SUPPORT

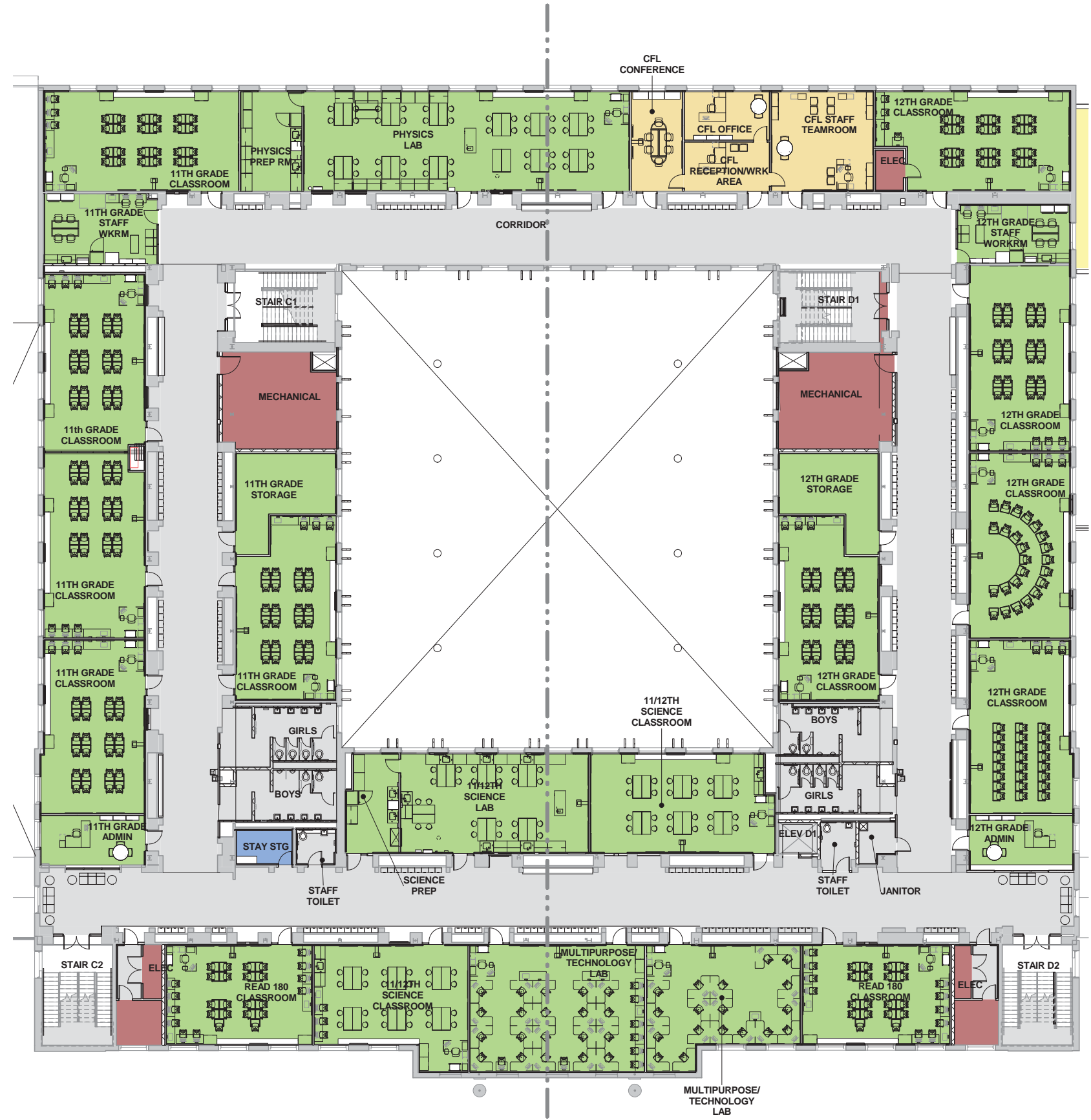


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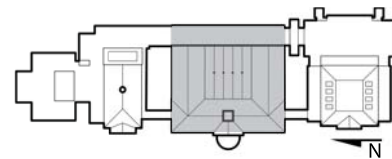
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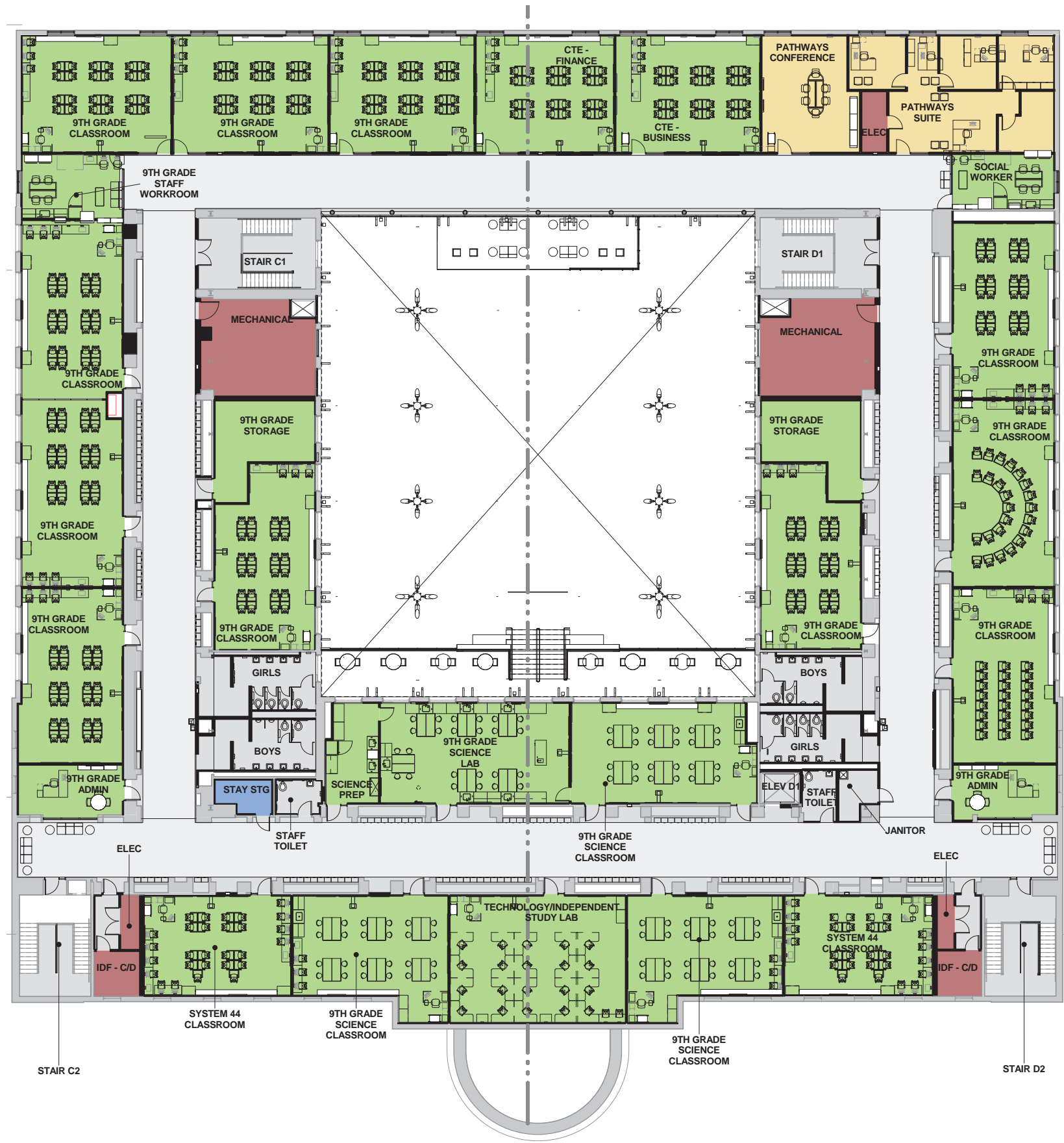
ACADEMIC - SECOND FLOOR



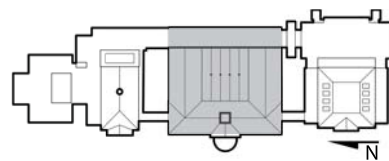
- ACADEMIC**
2ND FLOOR
 Department Legend
- ACADEMIC
 - ADMINISTRATION
 - MEP
 - PATHWAYS
 - STAY
 - SUPPORT



ACADEMIC - THIRD FLOOR

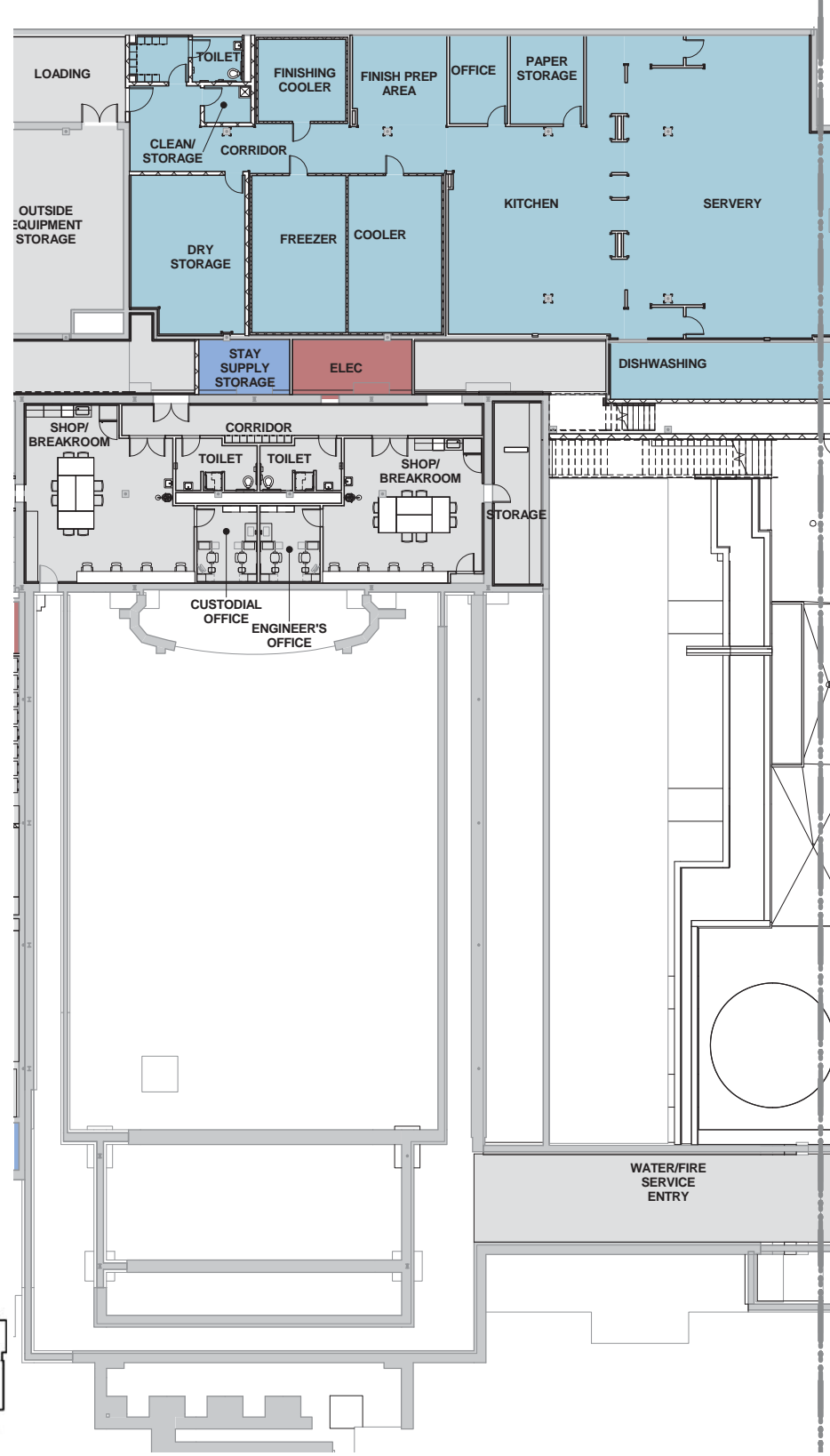


- ACADEMIC**
3RD FLOOR
Department Legend
- ACADEMIC
 - MEP
 - PATHWAYS
 - STAY
 - SUPPORT

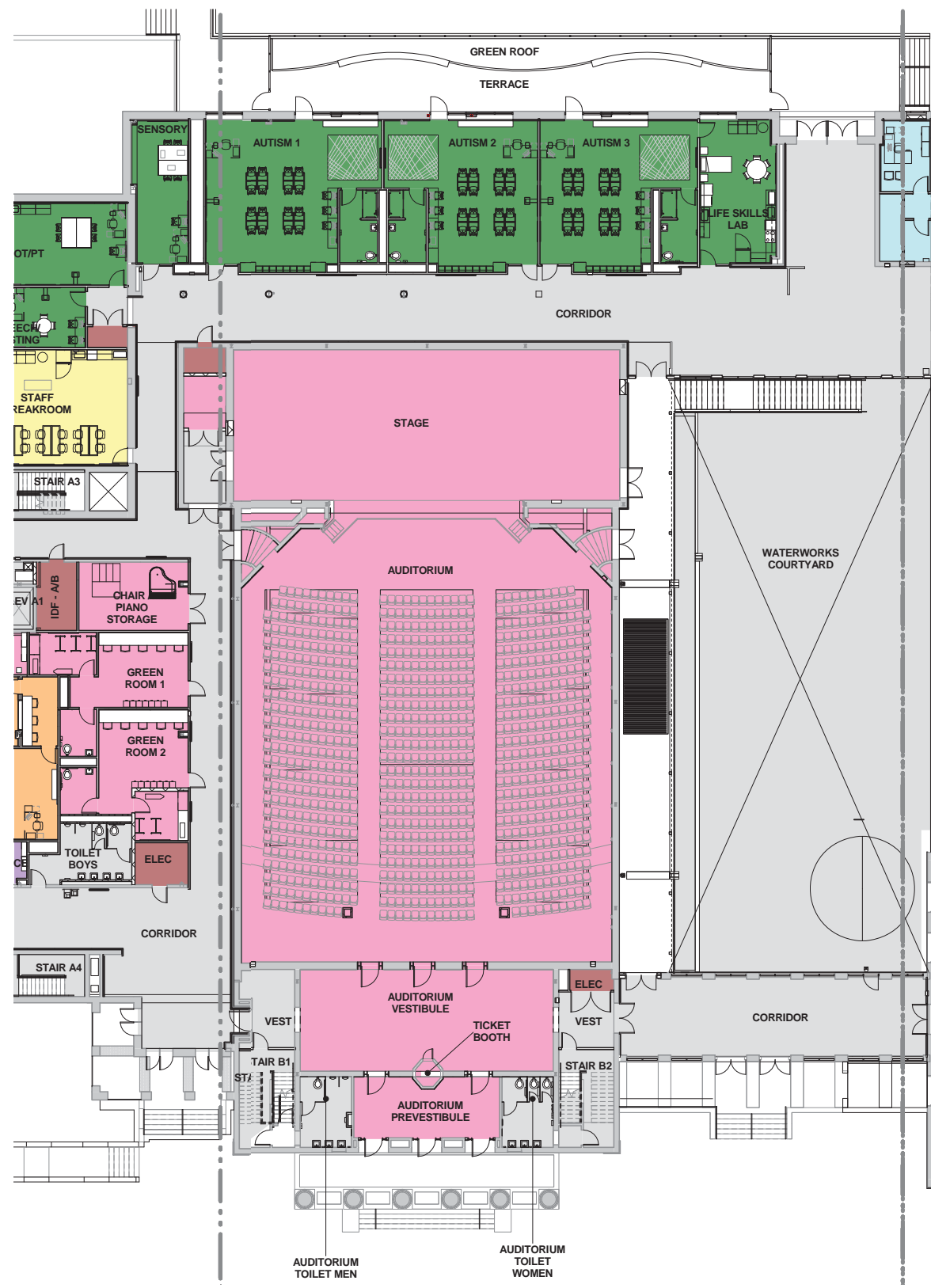


AUDITORIUM

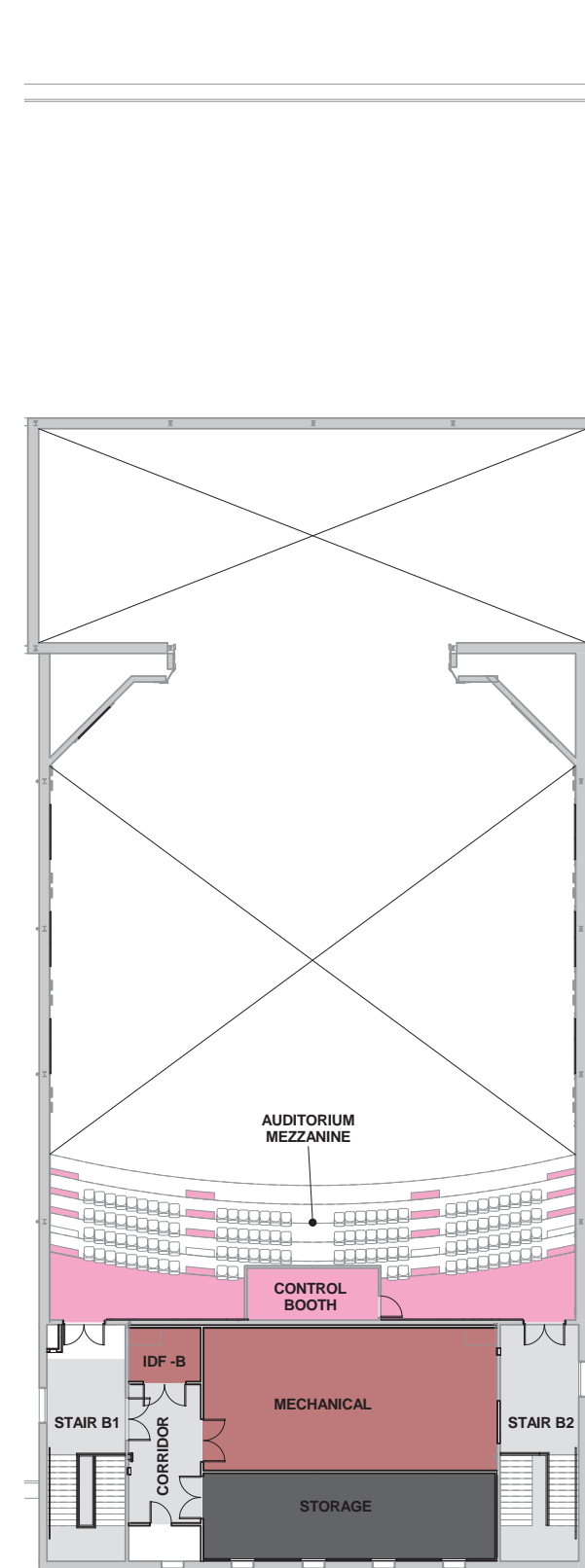
GROUND FLOOR



FIRST FLOOR



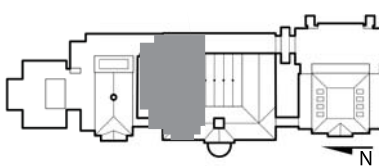
SECOND FLOOR

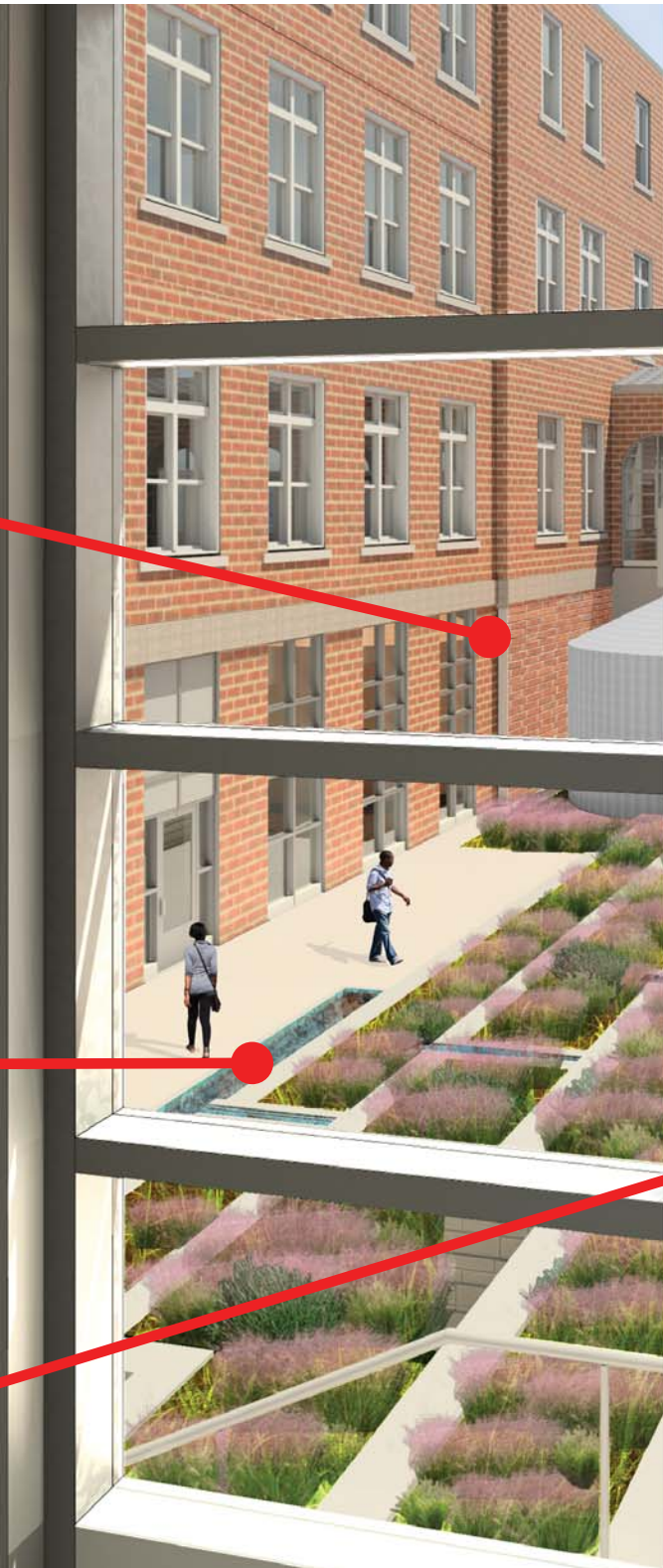


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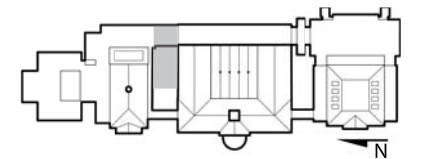
GROUND FLOOR Department Legend

- ACADEMIC
- CUSTODIAL
- FOOD SERVICE
- MEP
- STAY
- SUPPORT

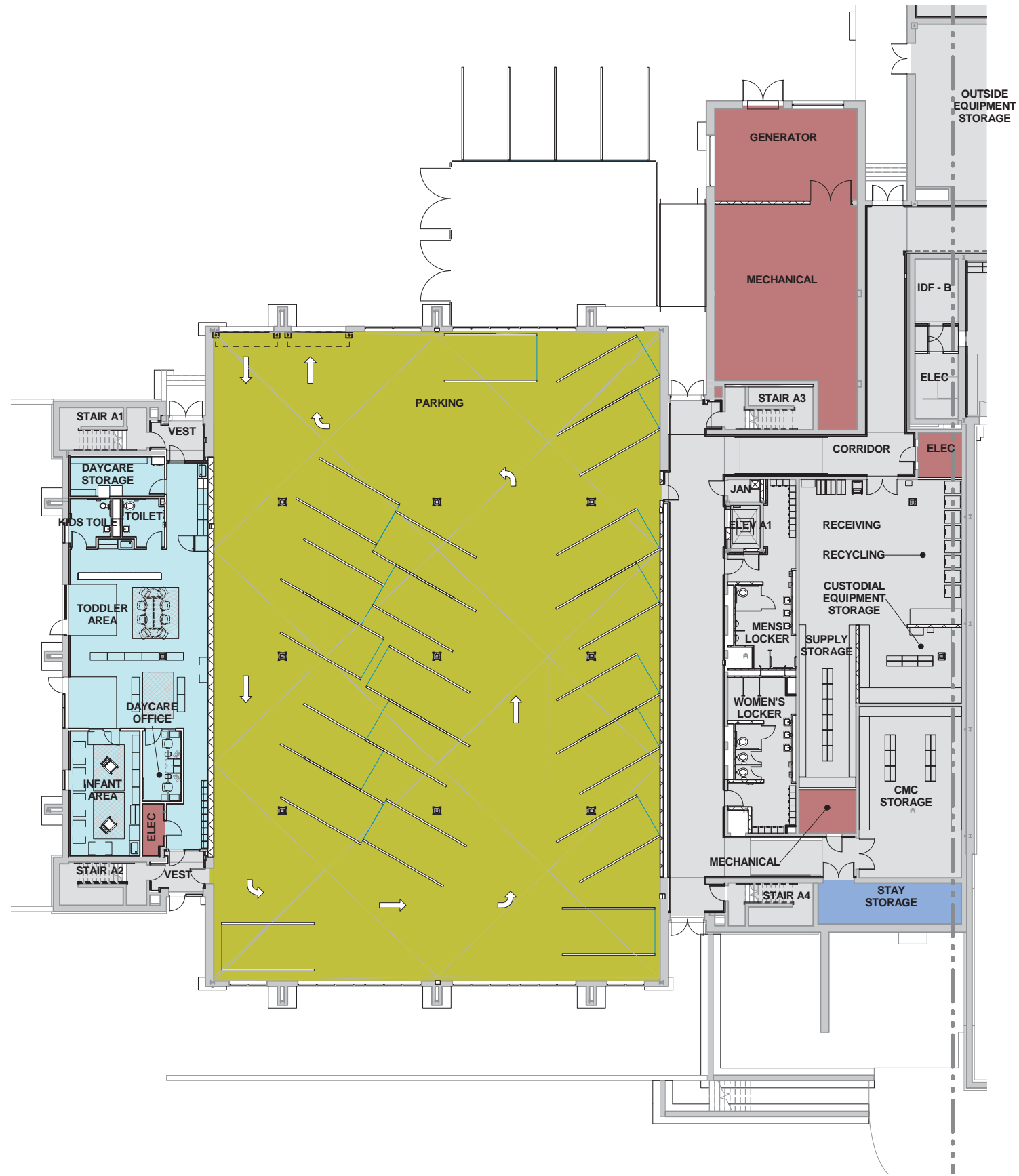




WATERWORKS

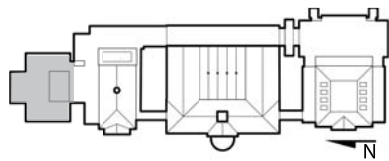


ARTS - GROUND FLOOR



ARTS GROUND FLOOR Department Legend

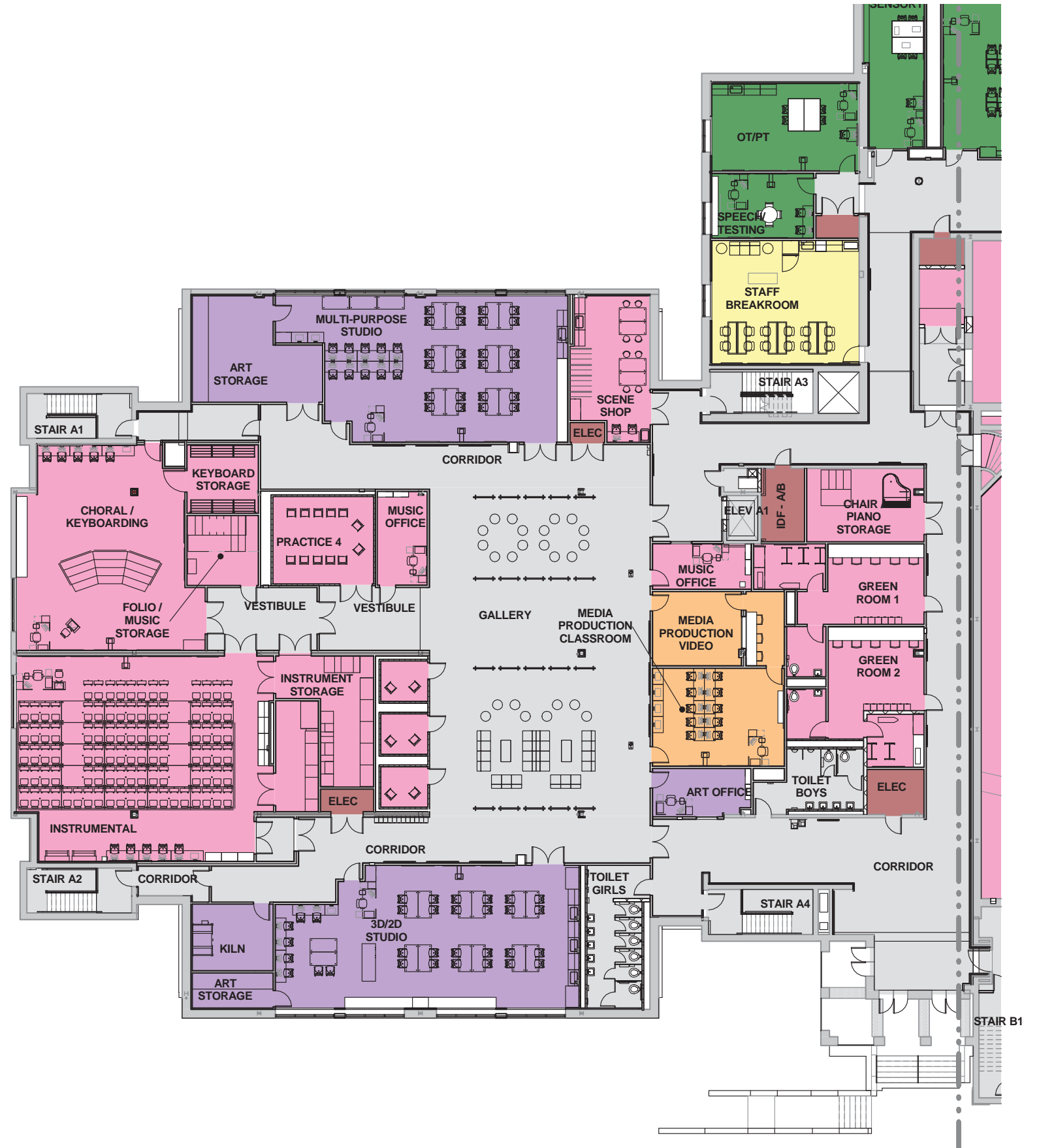
- CUSTODIAL
- FAMILY SUPPORT
- MEP
- PARKING
- STAY
- SUPPORT



ARTS - FIRST FLOOR



GALLERY



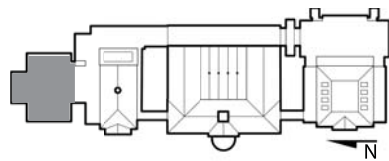
FIRST FLOOR

ARTS

FIRST FLOOR

Department Legend

- ADMINISTRATION
- MEDIA CENTER
- MEP
- PERFORMING ARTS



WHAT TO EXPECT IN THE NEXT 30-90 DAYS

ACTIVITY

- INTERIOR DEMOLITION: ONGOING THROUGH END OF AUGUST
- ATRIUM & PAVILION EXCAVATION/FOUNDATIONS: LATE JULY START
- MECHANICAL/ELECTRICAL/
• PLUMBING ROUGH-IN: ONGOING
- MASONRY RESTORATION: ONGOING
- NEW WALL CONSTRUCTION: SEPTEMBER START
- NEW EXTERIOR WINDOW) FABRICATION: AUGUST START
- SITE CLEARING AND REGRADING: AUGUST START
- WINDOW RESTORATION: AUGUST START
- ROOFING: SEPTEMBER START
- SUBMITTAL/SHOP DRAWING REVIEW: ONGOING



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CERTIFIED BUSINESS ENTERPRISE (CBE) AND DC RESIDENT PARTICIPATION

- 52% OF WORK TO DATE HAS BEEN AWARDED TO CBE COMPANIES WITH AN ESTIMATED VALUE OF \$64M.
- 64% OF EMPLOYEES ARE DC RESIDENTS

CBE PARTICIPATION BY WARD

WARD	NUMBER OF CBEs
WARD 1	2
WARD 2	2
WARD 3	1
WARD 4	5
WARD 5	8
WARD 6	4
WARD 7	1
WARD 8	1
TOTAL	24

RESIDENT PARTICIPATION BY WARD

WARD	NUMBER OF DC EMPLOYEES
WARD 1	20
WARD 2	14
WARD 3	0
WARD 4	34
WARD 5	12
WARD 6	1
WARD 7	29
WARD 8	37
TOTAL	147

- DC RESIDENTS INTERESTED IN EMPLOYMENT ON THIS OR ANY OTHER DGS CONSTRUCTION PROJECT, VISIT YOUR NEAREST DEPARTMENT OF EMPLOYMENT SERVICES (DOES) ONE STOP LOCATION TO APPLY FOR EMPLOYMENT.



FUTURE QUESTIONS OR COMMENTS ABOUT ROOSEVELT MODERNIZATION

Darrell S. Pressley

Public Affairs Specialist
Office of Government Affairs and Communications
Department of General Services

(202) 698-7703 (office)

darrell.pressley@dc.gov



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SITE OVERVIEW





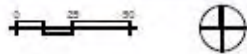
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PUBLIC SCHOOLS



SCHOOL SITE PLAN



Site Plan - Proposed
Master Plan

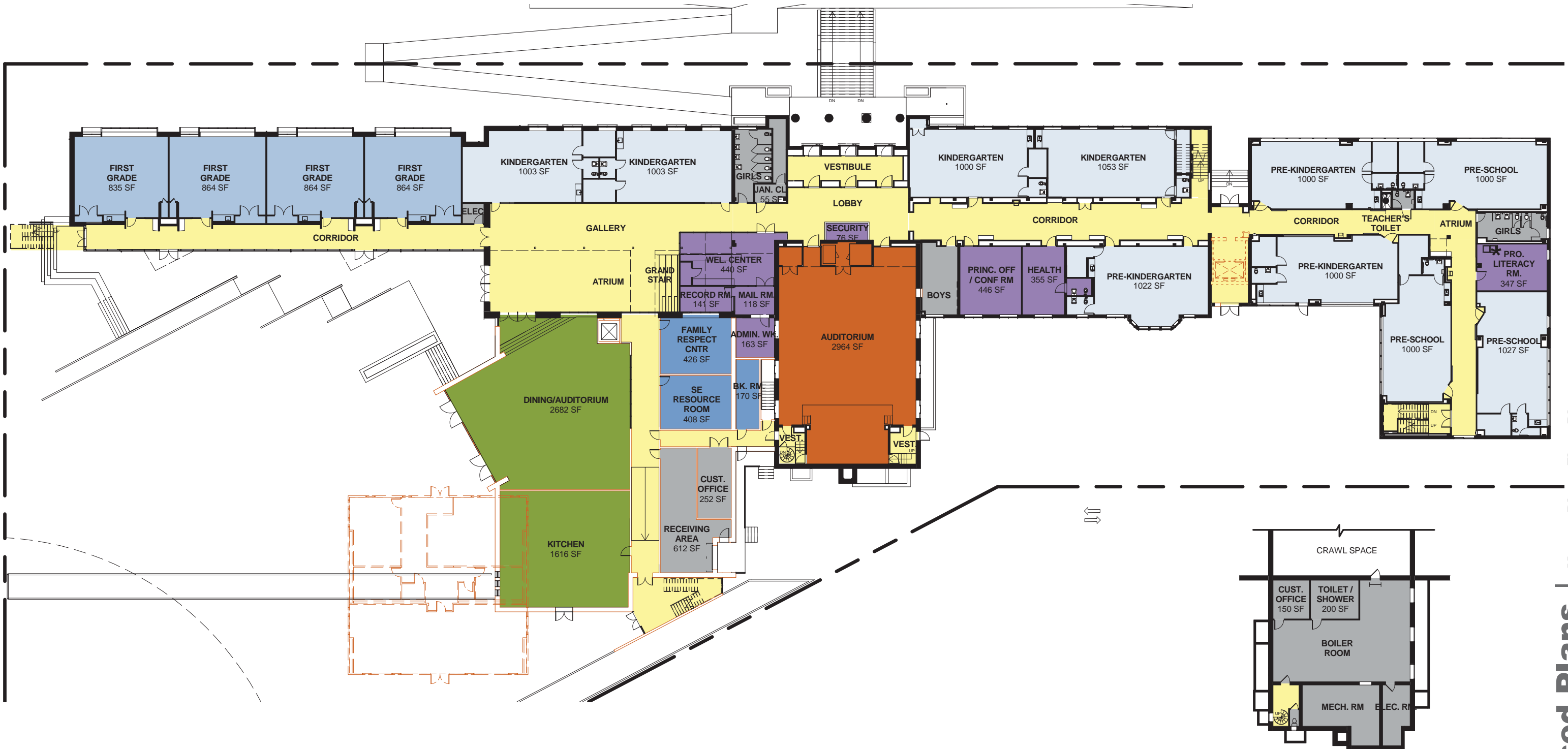


15 | Proposed Plans | Master Plan

03.June.2013

APPROVED PHASING PLANS - POWELL ELEMENTARY SCHOOL

ISTUDIO
architecture | design | planning



First Floor Plan
Master Plan



Basement Plan

Proposed Plans | Master Plan - Floor Plans
B4



Second Floor Plan

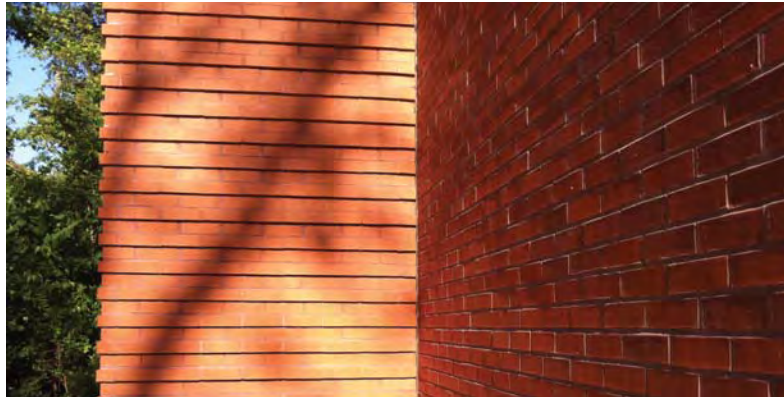
Master Plan



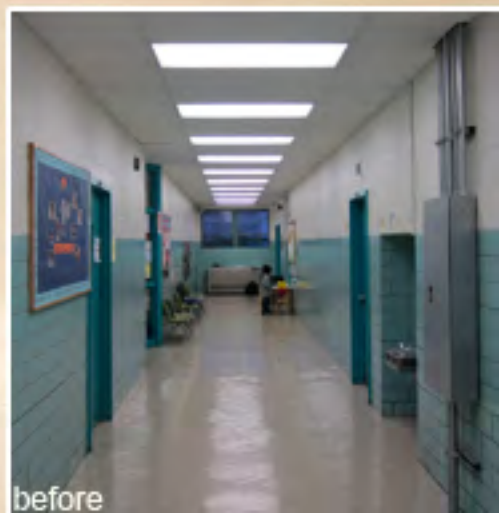
Master Plan - Floor Plans

Proposed Plans | B5









before





before



before



SITE PLAN: OPTION #1

Pros

- Accessible from street
- Flat

Cons

- Solar Access – Shaded by large trees
- Too small at 6,000 sf (existing community garden is 14,000 sf)
- Highly visible and public location might be more appropriate for other uses like open play area

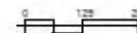
The following will be provided:
 *Water
 *Greenhouse/Sheiter
 *ADA Access



Option #1



Site Plan



Site Plan Alternates

SITE PLAN: OPTION #2

Pros

- Maximize Green Space at Powell ES
- Good Solar Access for Gardens
- Views from Garden
- Central Location
- Maximize Under Utilized Spaces
- Equitable to Both DCPS & DPR

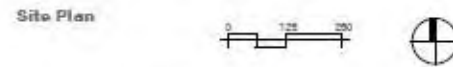
Cons

- Brush and Mechanical Equipment Needs Removal Required at Parking Site
- Possible Re-grading or retaining wall at Parking Site

The following will be provided:
*Water
*Greenhouse/Shelter
*ADA Access



Option #2



Site Plan Alternates